



parkwood  
GOLDEN GROVE

*A place to call home.*

Stage 2

February 2012

[parkwoodgoldengrove.com.au](http://parkwoodgoldengrove.com.au)

designguidelines

# welcome

Congratulations on purchasing land for your new home in Stage 2 of Parkwood, Golden Grove.

We have developed these Design Guidelines to help you feel at home when selecting a house design. The purpose of the Guidelines is to safeguard the future of your asset – your home.

The Guidelines will take you through the process of selecting a design for your home to gaining the necessary approvals and the construction phase.

Please note these Guidelines have taken into account Council's Development Plan policies at the time of preparation. Council's policies may change in the future.



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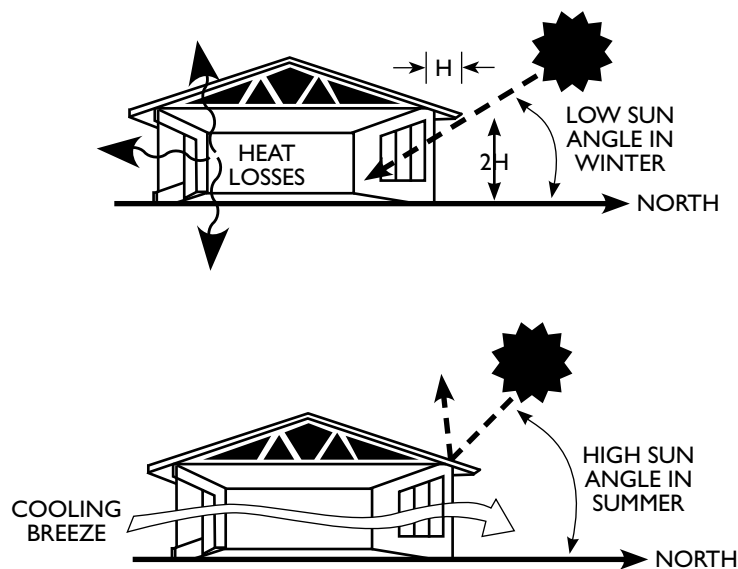
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# 1 thinking about your new home

## 1.0 Thinking about Your New Home

There's more to the design of a home than you first may think. Selecting the right design for your home requires you to carefully consider issues such as:

- orientation of the allotment
- appearance and style of your home
- internal layout of your home's rooms to take advantage of the sun and views
- materials to be used



The information in these Guidelines must be followed if your proposed new home is to be approved by the Encumbrance Manager.

## **1.1 Building Requirements**

To ensure that your lifestyle and investment are protected, we have placed requirements on such matters as the location, scale and height of homes on each allotment in Stage 2 of Parkwood, Golden Grove. In addition site works such as the extent of cut & fill of the land and the nature of retaining walls required are to be controlled to avoid impacting on adjoining properties and the general amenity.

## **1.2 Building Time**

We want Parkwood to feel like home as soon as possible, so if you're purchasing a vacant allotment you must substantially commence building within 24 months of buying the allotment.

- construction must be completed within 12 months of commencement
- front yard landscaping must be constructed within 12 months of occupation of your home

## **1.3 Further Subdivision of Allotments**

Only designated Development Lots maybe subdivided. Allotments 205-207 may be divided by community title if a mews above garage is approved and then built.

Consolidation of adjoining allotments shown on the Building Envelope Plan for development of either a single dwelling or more than one dwelling will be reviewed by the Encumbrance Manager on merit and having made an assessment of the proposal in accordance with these Guidelines.

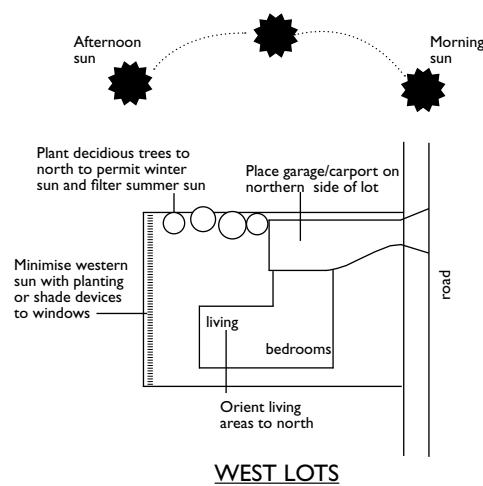
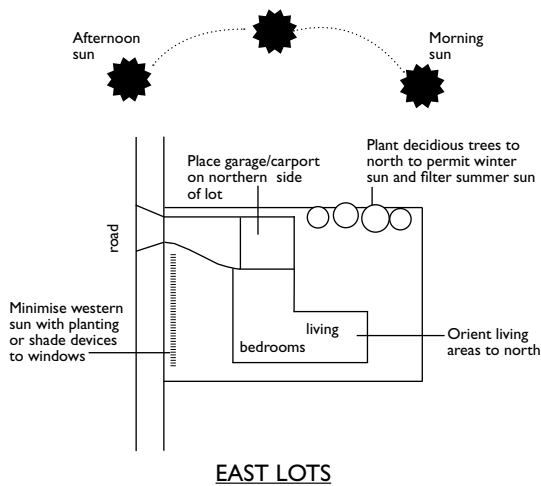
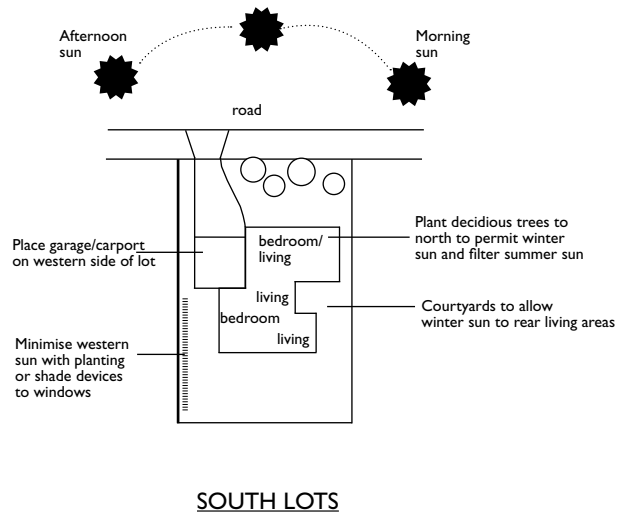
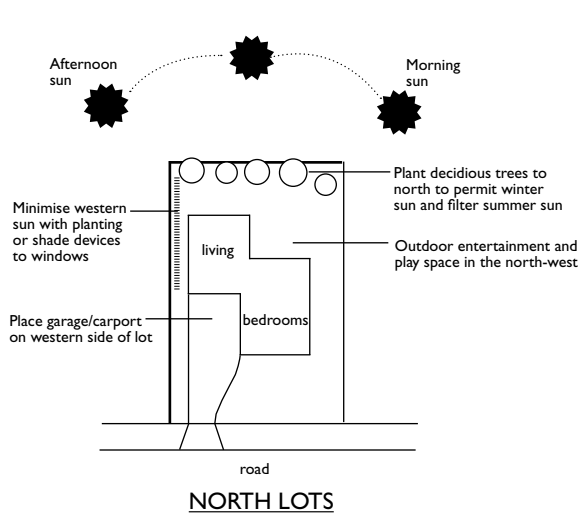
## **1.4 Number of Dwellings**

Other than on designated Development Lots such as Allotments 205-207 in Stage 2, only one dwelling per allotment is allowed.



## 1.5 What is Good Design?

Good Design is not merely how eye-catching a development is, it's also about having spaces such as living areas and bedrooms in the best location to maximise functionality and to reduce unnecessary consumption of resources and in turn save on energy costs. The following diagrams will provide you with guidelines for the layout of dwellings on allotments depending on the orientation of those allotments i.e. North, South, East and West.



## 1.6 Stage 2

Within Stage 2 of Parkwood there are a number of smaller allotments that have been approved by the City of TeaTree Gully (070/D091/10). Some of these allotments will be developed as Affordable Residences in accordance with an agreement entered in to with the State Government. The setbacks and amount of private open space for these allotments are generally different from the rest of allotments in Stage 2.

# 2 design requirements

## 2.1 Building Envelope Plan

A Building Envelope Plan has been prepared for each individual allotment and identifies the area in which a dwelling may be sited. In particular the plan indicates the following:

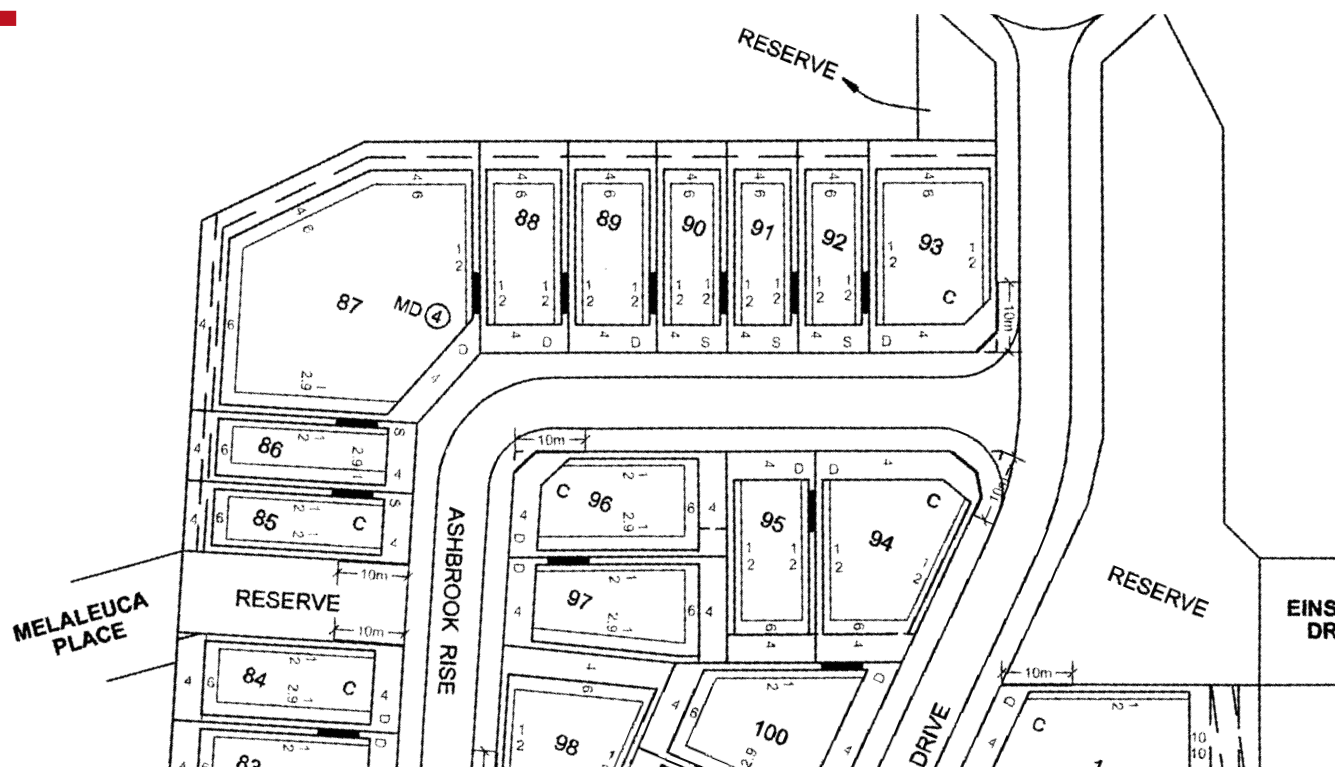
- the minimum building setbacks required from the street boundary (or boundaries, where an allotment has more than one street frontage)
- the minimum building setbacks required from side and rear boundaries
- the minimum building setback required for single and two storey development
- zero lot line allocations for garages / carports on boundaries

The building envelope plan for each allotment is shown on the detailed Allotment Development Plan attached to this document. The Allotment Development Plan forms part of the Guidelines and gives effect to them. A dwelling must be sited within the building envelope subject to other requirements as set out in these Guidelines. Buildings which encroach outside the building envelope will not be approved.

The size of each envelope is in excess of the area required to construct a wide variety of dwelling forms.

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Example of Indicative building envelope plans.



At the time of printing these Guidelines the various elements (including setbacks, carparking and private open space) meet the Council requirements, however they may change in the future and as such applicants should check with the City of Tea Tree Gully as Development Plan approval from Council is required once encumbrance approval is received.

## 2.2 Setback

Residential dwellings, except on allotments 203-207, 209-223, must be setback from boundaries in the following manner:

- from the front street boundary - a minimum of four metres;
- from the rear property boundary - a minimum of four metres and six metres for two storey component of a dwelling;
- the side boundary setback to be a minimum of 1.0m for single storey components of dwellings;
- the side boundary setback for two storey components of dwellings is a minimum of: 2m for lots facing north or south and for the northern side of lots facing east or west; 2.9m on the southern side of lots facing east or west.

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Where the dwelling is a detached or semi-detached dwelling and it is proposed to be constructed to a side boundary:

- it must not adjoin more than 8 metres of the length of the boundary; and
- it must have a setback of at least 1.0 metre from the opposite side boundary.

Where the dwelling is located on a site with more than one frontage to a public road a minimum setback of 1.0 metres from the secondary frontage to the public road boundary is required for a single storey dwelling and 2.0m for a second storey component of the dwelling.

Garages and carports must be setback at least 5.5 metres from the street boundary from which vehicle access is obtained to enable driveways to be used as parking. Garages and carports must be setback at least 0.5m behind the main facade of the dwelling. Setbacks for Allotments 203-207, 209-223 must comply with the Building Envelope Plan.

## 2.3 Private Open Space

Each dwelling, except on lots 203, 204, 209-211 and 220-223, must provide private open space in the following manner:

<i>Site Area of Dwelling</i>	<i>Minimum Area of Open Space</i>	<i>Minimum Dimension</i>
> 250m <sup>2</sup>	20% of site area	5m
≥ 250m <sup>2</sup>	35m <sup>2</sup>	4m

On lots 203, 204, 209-211 and 220-223 private open space must be provided at least in accordance with the Building Envelope Plan.

*Private open space comprises land which:*

- is able to be enclosed by 1.8m high fencing;
- does not incorporate driveways, car parking spaces, a domestic outbuilding, service area (e.g clothesline, rubbish bin storage), or roofed area (e.g verandah, alfresco);
- has a maximum gradient of 1 in 10;
- has an area of at least 16m<sup>2</sup> directly accessible from a living room for lots less than 250m<sup>2</sup> in size and at least 10% of site area for lots 250m<sup>2</sup> or greater;
- is a balcony, roof patio etc of at least 10m<sup>2</sup> and 2m minimum dimension.

## 2.4 Height

No dwelling may contain more than two storeys. The ridge line of a dwelling may be no more than 9m above the finished ground level.

# 2

## 2.5 Carparking and Driveways

On site parking spaces must be provided at the following rate:

- Detached Dwelling, Semi-detached Dwelling and Row Dwelling: 1 space undercover per dwelling
- Group Dwelling, Residential Flat Building and Multiple Dwelling: 1 space undercover per dwelling
- Exemption for Affordable housing.

One additional outside visitor parking space per dwelling is also required. Additional carparking spaces maybe uncovered and located on the driveway immediately in front of the garage or carport and within the allotment boundaries.

Designated Affordable housing requires 1 on site car parking space per dwelling only. However, additional nearby on street parking spaces must be provided. This is to occur through the land division civil construction process.

Driveway access locations to each allotment have been predetermined as shown on the relevant Building Envelope Plan.

Driveways widths should not exceed 3m for a single garage / carport and 6m for a double garage / carport driveway. A double driveway should taper in width from a maximum of 6m to 5m at the property boundary.

Garages and carports should either be under the main roof or complement the roof form and materials of the house. Garages and carports must be setback at least 5.5m from the street property boundary to enable a car to park in the driveway, except on allotments 211, 220 and 223 where a minimum 4.0m setback is required.

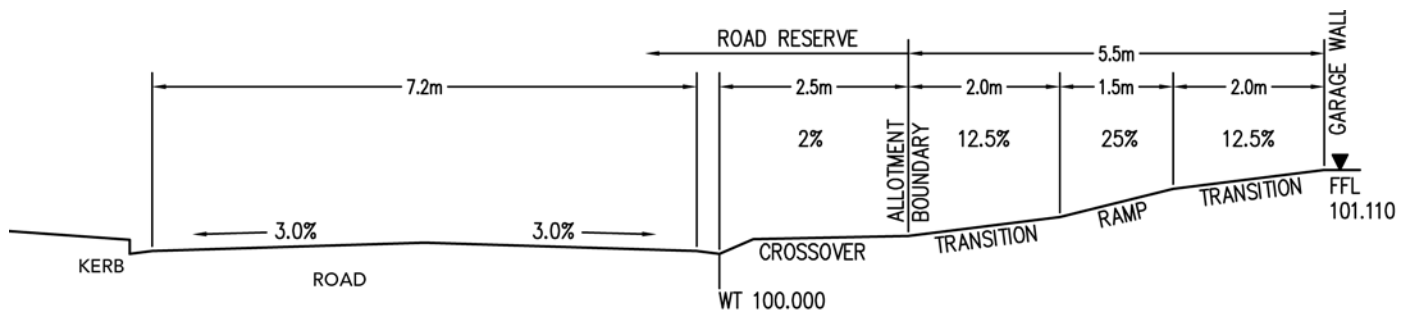
Setbacks from Beech Lane to garages/carports must be a minimum of 0.6m and a maximum of 1.0m.

The finished floor level (FFL) of the dwelling, garage/carport either above or below the "entry point" at the property boundary and the total driveway length from the property boundary to the garage or carport, should not exceed the maximum specification listed below.

- (a) the driveway gradient within the property boundary does not, at any point, exceed 1-in-4 for properties on the high side of the street, and 1-in-5 for properties on the low side of the street;
- (b) the driveway incorporates transition curves where there is a change in gradient or change in levels on the driveway; and

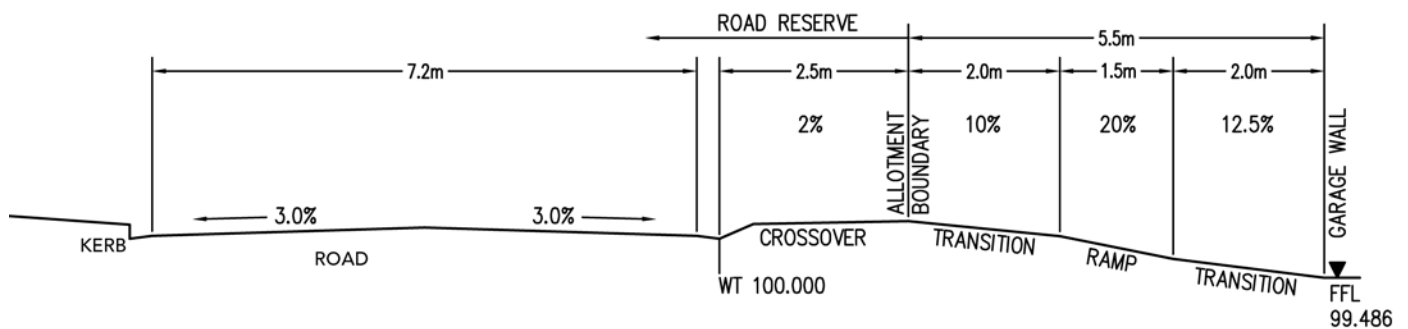
# 2

- (c) the ground level (datum) of the "entry point" at the property boundary:
- (i) must be higher than the top of the adjacent kerb; and
  - (ii) is determined by assuming a 1-in-40 gradient between top of adjacent kerb and the property boundary.



## LONGITUDINAL DRIVEWAY SECTION

(HIGHER SIDE OF ROAD)



## LONGITUDINAL DRIVEWAY SECTION

(LOWER SIDE OF ROAD)

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## 2.6 Fencing

Front fencing is optional for all allotments. If front fencing (including side boundary fencing in front of the main facade of the house) is installed then it must be:

- no more than 1.2m high if constructed of solid materials;
- of open style construction if greater than 1.2m high;
- no greater than 1.5m high;
- have a vertical emphasis in appearance.

For allotments 9-12, 14, 15 the rear boundary fencing will be 2.1m high and supplied by the developer.

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For other lots, rear and side boundary fencing must be no higher than 1.8m and comprise factory colour coated Bluescope **'Terrace'** finish. Brightly coloured or highly reflective materials are not permitted. No fencing is to be constructed of brush, galvanised iron or zincalume.

On corner allotments and allotments with a side boundary to a reserve (marked with a C on the Building Envelope Plan) fencing along the secondary street/reserve must be 1.8m colour coated Bluescope 'Terrace' finish up to a point 10m from the corner. Within 10m of the corner, front style fencing must be used.

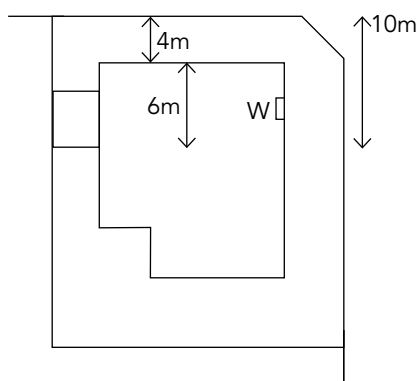
Fencing must firstly be approved by the Encumbrance Manager.

## 2.7 Dwelling Appearance

Parkwood, Golden Grove has been designed to capitalise on the natural features of the locality. Fairmont Group strongly encourages urban design of the highest quality.

Dwellings on corner allotments and with a side boundary to a reserve must address both streets (or street and reserve). This assists with improving the passive surveillance of the street and reserve as well as the visual amenity of the estate. To achieve this the following is to be provided:

- a vertically proportioned window (at least 0.6m wide) to a habitable room must be provided in the front 6m of the dwelling facing the secondary street or reserve - ( see W on diagram below).



The entry point of the dwelling must be prominent in the front facade. The front facade shall have a vertical emphasis with its proportions and elements (e.g windows).

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## 2.8 Recreational and Commercial Vehicles

If you have a plan to have a boat, caravan or commercial vehicle accommodated on the allotment they must be parked where they can not be seen from the street (other than a rear access lane if applicable). Caravans, boats, trailers, trucks, vans and other similar vehicles will not be permitted to be parked forward of the building line.

The parking of a vehicle in excess of 3000kg (including the weight of any attached trailer) on an allotment requires approval under the Development Act 1993 from the City of Tea Tree Gully. Irrespective of the outcome of this process such vehicles will not be permitted to be parked forward of the building line.

## 2.9 Building Materials

Dwellings on allotments 9-19, 211-220 and 223 shall be constructed using the following materials:

- Façade - a typical brick veneer construction consisting of 90mm bricks and 1 layer of 10mm plasterboard internally, with R1.5 insulation within the wall cavity.
- Roof - minimum profiled metal sheet roofing with R1.5 insulation, and with ceilings consisting of 1 layer of 10mm plasterboard.
- Glazing - bedroom windows facing Bicentennial Drive and the Light Industry Zone shall be constructed of a minimum of 5mm float glass. All other glazing shall be constructed of a minimum 3mm float glass.

If the applicant wishes to use materials that differ from the above then an acoustic report demonstrating the acoustic performance of the proposed materials, is equal to or better than those listed above and must be supplied to the Encumbrance Manager.

External walls of homes on all other lots should be constructed from the following range of materials:

- brick
- stone
- cement rendered concrete
- timber panelling
- rendered f.c. sheet

Infill (secondary) areas of walls utilizing painted weatherboard, cement sheet, stucco, Colorbond, galvanised iron maybe approved subject to design merit.

Roof materials must be selected from Colorbond, tiles, slate, cement shingles or galvanised iron. Roof pitch should be a minimum of 25 degrees. Flat roof elements including porticos, verandahs etc may be approved subject to design merit.

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## 2.10 Privacy

The approach outlined in these Guidelines is aimed at providing acceptable solutions for both the owners of two storey homes who may wish to take advantage of mid and long distance views and owners of adjacent properties who feel they are entitled to certain levels of privacy.

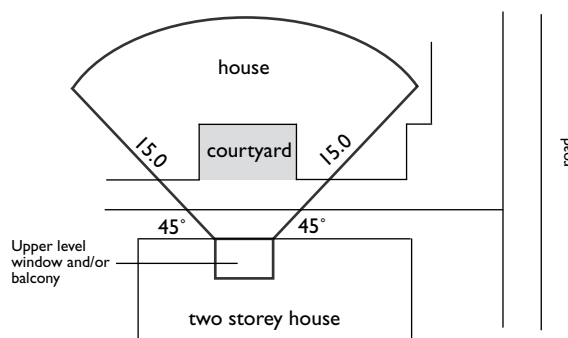
There are a range of design methods that can provide appropriate levels of privacy – these include:

- locating bedrooms rather than living rooms upstairs;
- the location, size and orientation of windows;
- type of glazing;
- raised sill heights;
- external fixed screens;
- landscaping (evergreen).

For allotments 9-18, 53-61, 201-223 the diagram shown below indicates that an upper storey window or balcony must undertake treatment, as indicated above, if the 15m radius view field looks onto an adjoining property's private open space or habitable room window. Upper storey windows on front elevations of dwellings are exempt so long as they do not have a view of adjoining private open space.

Where treatment is required:

1. Windows must have
  - a minimum sill height of 1.5m or
  - fixed opaque glass to a height of 1.5m or
  - fixed louvres to a height of 1.5m
2. A balcony must have screens to avoid views into the 15m deep view field.



Allotments 19-23, 45-52 and 62 are excluded from the 15m dimension limitations as indicated in the above diagram where the overlooking is into open space or living areas of existing dwellings not forming part of the Parkwood Estate, however two

# 2

storey dwellings on these allotments must have upper level windows and/or balconies appropriately screened by physical measures (eg: opaque glass, fixed louvres etc) unless existing landscaping, fencing or built form effectively screens the adjoining dwelling and/or its private open space.

## 2.11 Outbuildings and External Fixtures

Outbuildings include structures such as sheds, workshops, aviaries, pergolas (separated from the dwelling) and similar buildings. They are to comply with the following criteria:

- (a) not exceed 56 square metres in floor area;
- (b) have a maximum height of no greater than 4.0 metres;
- (c) be setback 600 mm from side and rear boundaries and where the wall height to the eaves of an outbuilding is 3 metres or greater then the building be setback an additional 600 mm from side and rear property boundaries for every 300 mm of wall height;
- (d) be pre-coloured and have an external finish that is complementary to the surrounding environment; and
- (e) not encroach on the minimum area of private open space ( see Section 2.3).

Outbuildings should not result in the unreasonable overshadowing of the main living areas and private open space of a neighbouring dwelling.

Clotheslines should be sited unobtrusively and away from public areas.

Solar water heaters and PV Cells are encouraged. However they must not be unduly visible from the primary road and be of a type that does not incorporate a water storage tank on the roof. If the northern facing portion of the roof faces a primary or secondary road then only the solar cells are permitted on that portion of the roof – the water container (bullet tank) must be hidden from public view (on the ground or in the ceiling).

Air conditioners can cause discomfort to neighbours, thus their location should be selected with care. Evaporative air conditioners should be located below the ridge line of the roof and be of a neutral colour or match the roof colour. They must be located so as not to be visible from the primary road frontage.

Antennae (including satellite dishes) must be located within the roof space or be positioned such that they will not be unduly visible from the primary road frontage. In particular satellite dishes should be coloured in a professional manner to match the structure to which they are attached i.e. roof or wall.

Rainwater tanks are not mandatory as a 3rd pipe system (lilac pipe) will provide water for toilet flushing and irrigation purposes.

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## 2.12 Retaining Walls & Earthworks

Where retaining walls may be necessary they must be constructed prior to the occupation of the house and are to be constructed using materials that complement the natural environment. No retaining wall shall be greater than 1.5m in height at any single location.

Multiple stepped retaining walls shall be used where more than 1.5m of cut/ fill needs to be retained.

Retaining walls are to form part of the each development application and shall include full construction details, nature of materials and location on the allotment.

Any retaining wall greater than 1.0m in height requires development approval from the City of Tea Tree Gully.

## 2.13 Environment

All houses must achieve an energy efficiency rating of 6 stars or greater.

Solar hot water systems with gas boost and photo voltaic cells that create electricity for use in your home and are connected to the grid are encouraged.

Each house must be connected to a standard (SA Water) water supply for drinking and washing. In addition the non-potable water supply system (3rd pipe) which is for the toilet, watering the garden and washing the car must be connected to your home. This 3rd pipe system is operated by the City of Tree Tree Gully.

Tapware throughout your home, including showerheads, must be at least AAA rated (low flow). Toilets must be AAAA rated dual flush water closets which have 4.5/3.0 litre capacity.

# 3 building your home

## 3.0 Building Your Home

No one likes living in a continuous construction area. The first few years of any residential community can be disruptive for everyone. To maintain as high a quality of life as possible during the construction period we request all owners and their builders (including sub-contractors) follow the requirements described in the following section.

# 3

## 3.1 Vehicle Access

Vehicle access must be made via internal roads as opposed to driving across adjoining allotments / vacant land (including reserves). During construction, vehicles should not be parked on the verge / footpath area.

## 3.2 Site Control

The lot must be regularly and frequently maintained and kept clear of excess weeds, rubbish and building waste.

## 3.3 Stock Piles

Stock piles and building materials must be located on the Lot and positioned in a neat and tidy manner.

## 3.4 Building Waste

All building waste must be stored in a bin which is emptied on a regular and frequent basis. The bin must be located on the allotment. Accidental spills of soil, material or waste outside of the allotment must be removed immediately.

## 3.5 Stormwater

Pollution of the stormwater drainage network from your building site must be avoided.

The following measures must be put in place:

- Early connection of roof water down pipes to allotment stormwater system; and
- Trapping of run-off from tool and paint washing, brick and tile cutting and other wet activities.

## 3.6 Amenities

Portable toilets are to be located within the allotment and adequately fixed to the ground. They must not be placed on the road, verge, adjoining allotments or reserves.

# 4 approval process

## 4.0 Approval Process

When you purchase an allotment of land at Parkwood, Golden Grove an Encumbrance is attached to the Certificate of Title.

This requires that prior to any development occurring on site approval must be sought and obtained in writing from the Encumbrance Manager. Approval from the City of Tea Tree Gully must then be sought and obtained.

The Design Guidelines must be considered in conjunction with the City of Tea Tree Gully Development Plan.

If applicants are unsure of whether or not their proposed dwelling meets the requirements of the Design Guidelines, a sketch plan should be prepared and submitted to the Encumbrance Manager for preliminary discussions prior to final drawings being prepared. This will streamline the approval process and avoid additional detailed design costs.

The Encumbrance Manager has the power to approve a proposal that does not conform to the Design Guidelines; however the City of Tea Tree Gully must also approve the non-conforming aspects of the proposal.

The following documents are required to be submitted in order for the Encumbrance Manager to assess and approve your proposed house:

- Three copies of the following plans on A1 or A3 paper;
- Site plan (site contours, extent of building envelope, house siting, dimensioned setbacks, (min 1:200 scale) proposed earthworks, retaining walls, crossover location, driveway, stormwater disposal);
- Floor plans (1:100 scale);
- Elevations (1:100 scale); and
- Fence details – all fences;
- For proposed two storey dwellings a 1:200 plan indicating compliance with Section 2:10 of these Guidelines.

The Encumbrance Manager will:

- Undertake the assessment process, which may involve contacting you or your builder/architect to discuss and resolve any issue.
- Provide written approval with stamped sets of plans.

Two sets of plans will be sent to the applicant (owner or their agent eg: builder)  
The Encumbrance Manager will retain one set of plans.

Under no circumstances should plans be lodged with the City of Tea Tree Gully prior to written approval being issued by the Encumbrance Manager.

# 5 landscaping

## 5.0 Landscaping

At Parkwood, Golden Grove analysis of the soil type has been undertaken. Irrigation of gardens (front and rear) will occur using Class A water from the reclaimed water supply (lilac pipe system).

This water has slightly higher salinity levels the normal SA Water mains water. With these two issues Fairmont's landscape architects have prepared a list of plant types that are suitable for your allotment. Water sensitive landscaping will be required to be incorporated into the development of each allotment.

Suitable plant species:

botanical name	common name	height	width	spacings
Adenanthos Cuneata	Woolley Bush	3.0m	1.5m	Good screening shrub
Alyogyne Heugelii	Native Hibiscus	3.0m	1.5m	Good screening shrub
Agonis flexuosa 'After Dark'	Agonis ' After Dark'	3-4.0 metres	3.0 metres	Back drop large shrub/tree. Flowers in either purple or yellow.
Enchylaeana Tomentosa Var.	Ruby Saltbush	groundcover	groundcover	1 plant per 2.0 m <sup>2</sup> - excellent groundcover to suppress weeds
Dianella Caurelea	Dianella Breeze	1.2m	0.8m	1 plant per 0.8 lineal metre
Dianella Silver Streak	Dianella Silver Streak	0.6m	0.6m	2 plants per 1.0 m <sup>2</sup>
Dietes Iriodies White Tiger	White Tiger	0.5m	0.5m	2 plants per 1.0 m <sup>2</sup> Long flowering attractive white flowers
Correa alba	White Corea	1.0m	1.0m	1 plant per 1.0 lineal metre/1 plant per m <sup>2</sup>
Grevillea Lavandulacea	Spider Flower	1.0m	1.0m	1 plant per 1.0 lineal metre
Hardenbergia Violacea (endemic)	Native Lilac	g/cover -climber	g/cover -climber	1 plant per 1.5 lineal metre
Lomandra 'Katrinus'	Lomandra 'Katrinus'	0.8m	0.8m	1 plant per 0.8 lineal metre
Lomandra 'Nyalla'	Lomandra 'Nyalla'	0.8m	0.8m	1 plant per 0.8 lineal metre
Myoporum parvifolium -broadleaf	Creeping boobialla - broadleaf form	0.2m - groundcover	2.0m	1 plant per 2.0 lineal metre
Pimelea 'Pink Cloud'	Pink Cloud	1.5m	1.0m	1 plant per 1.0 lineal metre/1 plant per 1.5m <sup>2</sup>
Syzgium 'Tayla Made'	Lily Pily	2-2.5m	1.5m	1 plant per 2.0 lineal metre Excellent screening plant
Teucrium fruticans	Bush Germander	1.0m	1.0m	1 plant per 1.0 lineal metre
Westringia Wynyabbie Gem	Wynyabbie Gem	2.0m	1.0m	1 plant per 1.5 lineal metre/1 plant 2.0m <sup>2</sup>

notes



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*A place to call home.*

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